

eA Project #22.022

BIDDING / PERMITS  
June 2, 2023  
COMMITTEE MEETING  
April 26, 2023  
OWNER SCOPE REVIEW  
October 31, 2022  
OWNER REVIEW  
September 27, 2022  
PRELIMINARY  
September 1, 2022  
AS-BUILTS  
July 5, 2022

ISSUE / REVISION DATE

Title Sheet

**T.100**

**TYPE OF PROJECT:**

RESTORE EXISTING EXTERIOR FINISH AND ADD NEW WRAP AROUND PORCH TO PROVIDE ADA ACCESS RAMP AND NEW STAIRS FOR THE EXISTING TOWNHALL.

**GENERAL NOTES:**

- ALL WORK SHALL BE COMPLETED PER 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS AND [2015 MICHIGAN BUILDING CODE] (AS REFERENCED BY 2015 MRCEB)
- ALL WOOD EXPOSED TO THE WEATHER, IN CONTACT WITH THE GROUND OR ENTERING EXTERIOR MASONRY WALLS SHALL BE PRESERVATIVE TREATED (P.T.)
- ALL FASTENERS FOR PRESERVATIVE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL OR STAINLESS STEEL.
- ALL STRUCTURAL CONNECTORS & HANGERS SHALL BE HOT-DIPPED GALVANIZED STEEL.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. IF A DISCREPANCY IS DISCOVERED, COORDINATE WITH ARCHITECT TO RESOLVE THE ISSUE TO ACHIEVE THE INTENT OF THE DRAWINGS.
- COORDINATE WITH OWNER & ARCHITECT ALL ACTUAL FINISHES AND MATERIAL SAMPLES
- ELECTRICAL SHALL BE DESIGN/BUILD PER LATEST NEC. COORDINATE FIXTURES, SPECIAL RECEPTACLES AND REQUIREMENTS WITH OWNER. LIGHTING SHALL BE PROVIDED & INSTALLED BY CONTRACTOR.
- DATA SHALL BE DESIGN/BUILD. COORDINATE SPECIAL RECEPTACLES AND REQUIREMENTS WITH OWNER.
- PLUMBING SHALL BE DESIGN/BUILD PER LATEST CODES. COORDINATE SYSTEM TYPES AND PERFORMANCE SPECIFICATIONS WITH OWNER.
- ALL DIMENSIONS ARE TO FACE OF NEW STUDS (ROUGH FRAMING), FACE OF BRICK OR FACE OF SHEATHING, FACE OF EXISTING FINISHED WALLS TO REMAIN, CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS
- EXIST WINDOW SIZES SHOWN ON PLANS ARE FOR ESTIMATING PURPOSES ONLY. ALL NEW WINDOW SIZES TO BE FIELD MEASURED BY WINDOW MANUFACTURER / INSTALLER AS REQUIRED.



**2** 1889 HISTORIC PHOTOGRAPH  
T.100 NOT TO SCALE



**3** FRONT ENTRANCE  
T.100 NOT TO SCALE



**4** SIDE ENTRANCE  
T.100 NOT TO SCALE

**WALES TOWNSHIP HALL**



**1** LOCATION AERIAL & MAP  
T.100 NOT TO SCALE



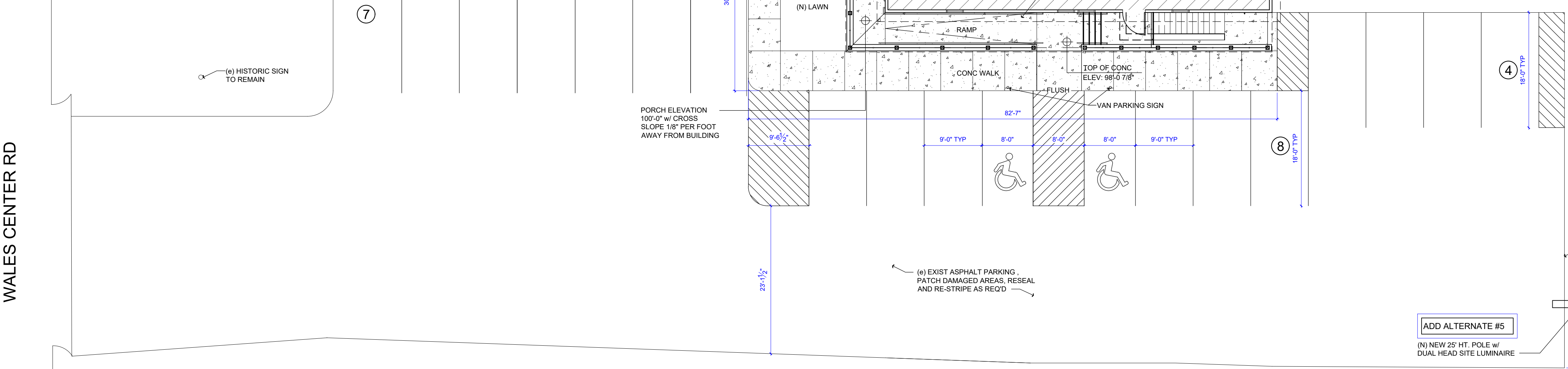
Drawing Legend		ISSUE/REVISION HISTORY
Sheet No.	Sheet Contents	MEETING DATES / REVISIONS
ARCHITECTURAL		
	SEE ALSO - SPECIFICATION & INSTRUCTION MANUAL	
T. 100	TITLE SHEET	
AS.100	ARCHITECTURAL SITE PLAN / LANDSCAPE PLAN	
A.101	DEMOLISHING & PROPOSED FIRST FLOOR PLAN	
A.201	PROPOSED EXTERIOR ELEVATIONS	
A.202	PROPOSED EXTERIOR ELEVATIONS	
A.301	PROPOSED ELEVATIONS & BUILDING SECTIONS	
A.302	PROPOSED ELEVATIONS & BUILDING SECTIONS	



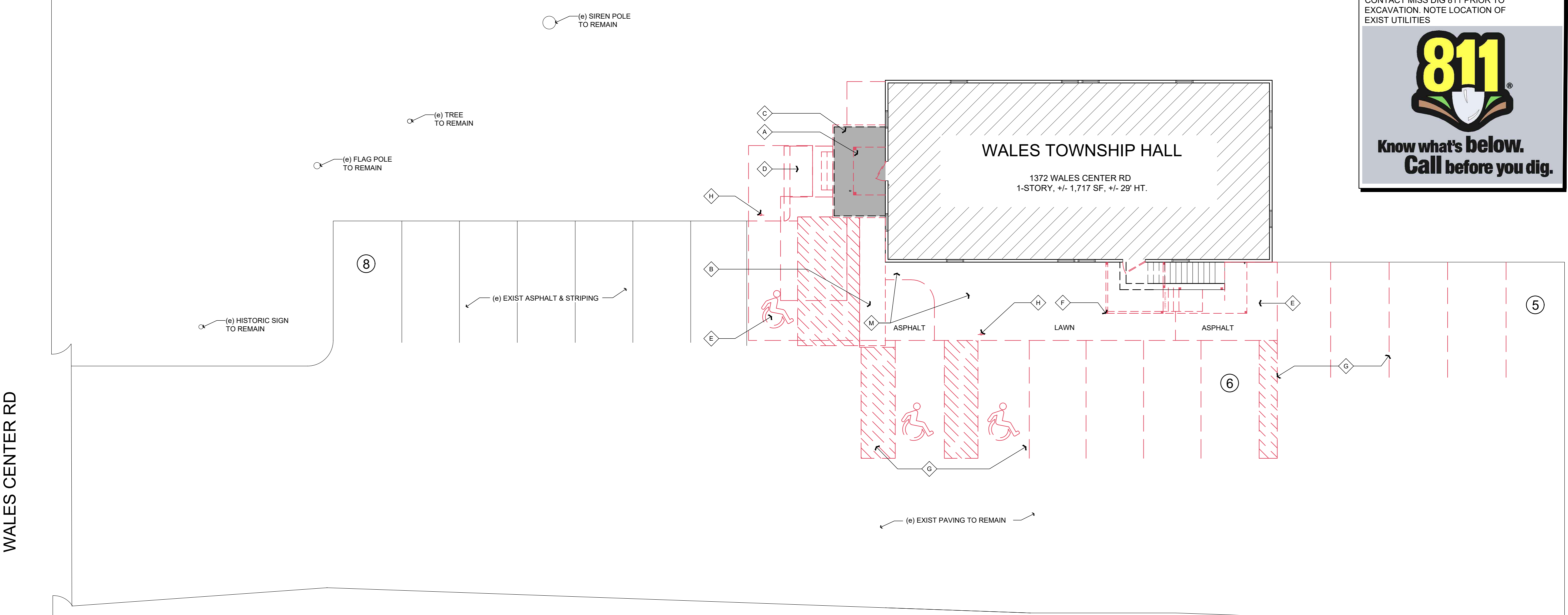
ADD ALTERNATE #5



Symbol	LLP	Description	Lum. Watts
9	D-390	COOPER# GLEON-AF-05-LRD-R1-S14-800-RSS	210



**2 PROPOSED ARCHITECTURAL SITE PLAN / LANDSCAPE PLAN**  
AS.100 SCALE: 1" = 10'-0"



**1 DEMO / EXISTING ARCHITECTURAL SITE PLAN / LANDSCAPE PLAN**  
AS.100 SCALE: 1" = 10'-0"

ACCESSIBLE PARKING SIGNAGE (INTERNATIONAL SYMBOL ONLY)  
(4A) VAN ACCESSIBLE PARKING SIGNAGE w/ WRITTEN IDENTIFICATION

NOTE: SIGNAGE IDENTIFYING VAN PARKING SPACE(S) MUST CONTAIN THE DESIGNATION "VAN ACCESSIBLE"

**3 PARKING DETAIL**  
AS.100 NOT TO SCALE:

- GENERAL SITE PLAN NOTES**
- THIS DRAWING IS BASED ON FIELD MEASUREMENTS AND OBSERVATIONS BY THE ARCHITECT CONTACT ARCHITECT WITH ANY DISCREPANCIES.
  - CONTRACTOR TO ENSURE THAT THERE ARE NO PROTRUDING OBJECTS IN THE EXTERIOR ACCESSIBLE ROUTE AND THAT CHANGES IN LEVEL ALONG THE EXTERIOR ACCESSIBLE ROUTE DO NOT EXCEED 1/2".
  - SLOPE ALL CONCRETE APRONS AT THE BUILDING PERIMETER A MINIMUM OF 1/8" PER 1'-0" AWAY FROM THE BUILDING.
  - LANDSCAPE TO REMAIN AS EXIST. NEW LANDSCAPE AREAS TO BE LAWN / DESIGN BUILD BY OWNER

- SYMBOL LEGEND**
- # NUMBER INDICATES QUANTITY OF PARKING SPACES AVAILABLE FOR EMPLOYEE AND OR CUSTOMER IN THE SERIES IDENTIFIED.
  - POLE MOUNTED SIGN REFER TO DETAIL THIS PAGE

- CAST-IN-PLACE CONCRETE NOTES**
- AN ASSUMED MINIMUM NET ALLOWABLE SOIL BEARING CAPACITY OF 2,500 PSF HAS BEEN USED. THE ACTUAL BEARING CAPACITY OF THE SOIL SHALL BE FIELD VERIFIED AS A MINIMUM OF 2,500 PSF PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY IF THE SOIL BEARING CAPACITY DOES NOT MEET THE MINIMUM NOTED HERE. FOOTINGS SHALL BE CARRIED DOWN TO UNDISTURBED SOIL OR COMPACTED FILL.
  - ALL CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-10, "STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE".
  - ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH AS NOTED BELOW.
  - FOOTINGS & FOUNDATIONS: 3,000 PSI
  - SLABS ON GRADE: 4,000 PSI
  - EXTERIOR CONCRETE, AND/OR INTERIOR CONCRETE SUBJECTED TO FREEZETHAW, SALT, ETC., INCLUDING WALLS SHALL BE AIR-ENTRAINED 5% +/- 1% (WHERE REPLACEMENT IS REQUIRED).
  - REINFORCING SHALL CONFORM TO ASTM A-615 GRADE 60, WELDED WIRE FABRIC SHALL BE FURNISHED IN FLAT SHEETS AND SHALL CONFORM TO ASTM A-185 AND HAVE A MINIMUM SIDE AND END LAP OF 8 INCHES.
  - ALL REINFORCEMENT TO BE FABRICATED AND ERECTED ACCORDING TO THE ACI STANDARDS, "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT", ACI 315 - LATEST EDITION AND "MANUAL OF ENGINEERING AND PLACING DRAWINGS FOR REINFORCED CONCRETE STRUCTURES", ACI 315R - LATEST EDITION.
  - MINIMUM CONCRETE COVER SHALL BE (UNLESS NOTED OTHERWISE): 2"
  - UNFORMED SURFACES IN CONTACT WITH GROUND (FOOTING BOTTOMS): 3"
  - SLABS ON GRADE (TOP COVER, AND WHERE REPLACEMENT IS REQUIRED): 1"
  - CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: 3/4"
  - MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE + 1/4" FOR SECTIONS 10" AND LESS AND + 1/2" FOR SECTIONS OVER 10 INCHES THICK.
  - THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR POUR SEQUENCES AND CONSTRUCTION PROCEDURES FOR CONCRETE WORK TO ACCOUNT FOR ALL FACTORS DURING THE CONSTRUCTION PHASE.

- GRADING NOTES**
- REVISED GRADING SHALL BE DEVELOPED AS TO DRAIN SURFACE WATER AWAY FROM THE FACE OF BUILDINGS AND IN A MANNER AS TO PREVENT SURFACE WATER FROM THIS PARCEL FROM FLOWING ONTO ADJ. PARCELS
- A MIN. SLOPE OF 1/4" PER 1' SHALL BE PROVIDED, AWAY FROM THE BUILDING(S)

- DEMOLITION NOTES**
- DEMOS EXIST PORCH ROOF, COLUMN & ALL ASSOC ITEMS COMPLETE SALVAGE GABLE RAKE TRUSS FOR RE-USE
  - DEMOS EXIST WOOD RAMP AND ALL ASSOC ITEMS COMPLETE & PREP FOR NEW CONFIGURATION
  - DEMOS EXIST WOOD DECK COMPLETE OVER EXIST BASEMENT
  - DEMOS EXIST CONC WALK COMPLETE AS REQ'D FOR NEW CONFIGURATION
  - SAW CUT AND REMOVE PORTION OF EXIST ASPHALT FOR NEW CONFIGURATION
  - DEMOS EXIST PORCH, STEPS, COLUMNS, ROOF AND ALL ASSOC ITEMS COMPLETE TO ALLOW FOR NEW CONFIGURATION
  - DEMOS / BLACK OUT EXIST STRIPING COMPLETE TO ALLOW NEW STRIPING LAYOUT
  - RELOCATE EXIST BARRIER FREE PARKING SIGN AND OR PROVIDE NEW AS REQUIRED
  - MOVE EXIST DRAIN TILE AT SOUTHWEST CORNER OF EXIST BUILDING OUT FROM BUILDING TO OUTER EDGE OF NEW PORCH ON THE SOUTH SIDE IN LINE w/ A NEW DOWNSPOUT IN LINE w/ THE SOUTHWEST PORCH POST

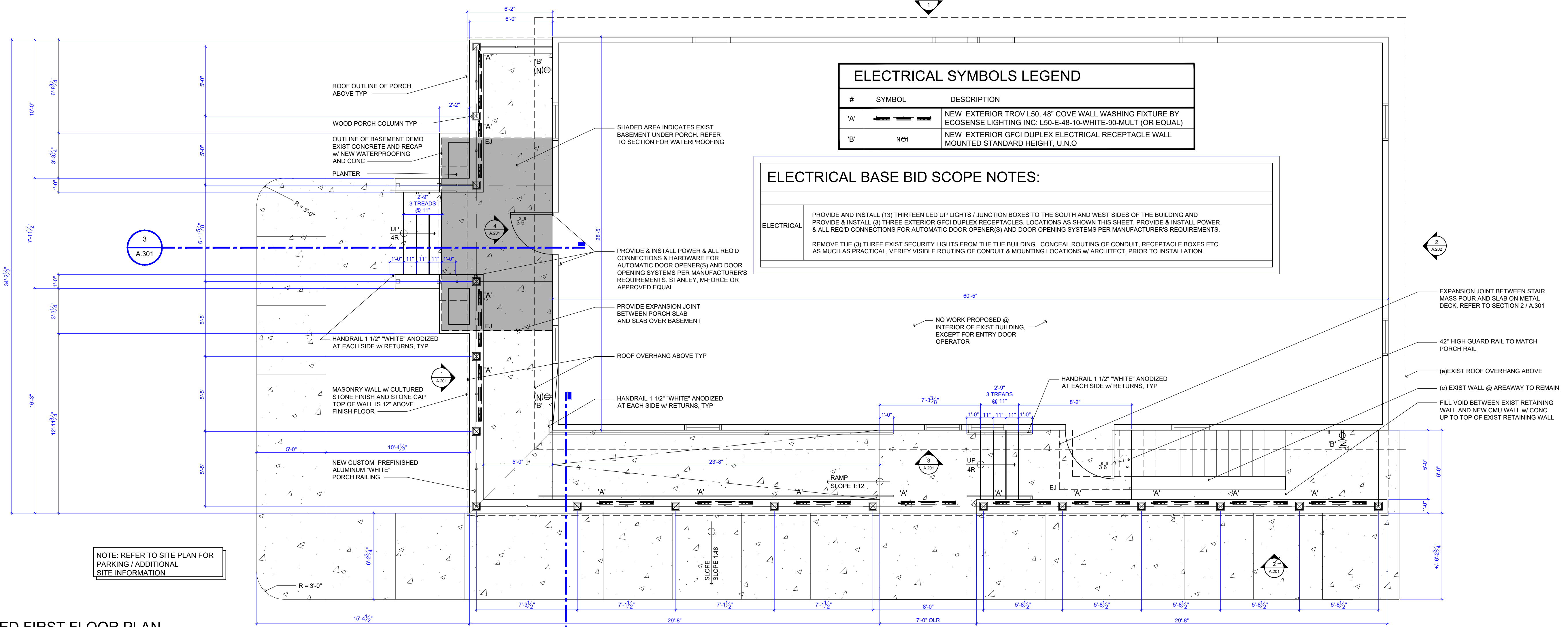
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**ISSUE / REVISION DATE**  
**Architectural Site Plan / Landscape Plan**



**AS.100**



**1 PROPOSED FIRST FLOOR PLAN**  
A.101 SCALE: 1/4" = 1'-0"

**LUMBER NOTES**

2x8, 2x10, 2x12: #2 OR BETTER DOUGLAS FIR, LARCH OR SOUTHERN PINE  
2x4, 2x6: STUD SPF (NLGA)  
LVL: Fb = 2,600 PSI  
E = 1.9x10<sup>6</sup> PSI

NOTE: REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION

NOTE: ALL HEADERS TO BE (2) 2 x 8 UNLESS NOTED OTHERWISE.

**FRAMING GENERAL NOTES**

PROVIDE TEMPORARY AND/OR PERMANENT SHORING OR BRACING AS REQUIRED FOR DEMOLITION OF EXIST STRUCTURE AND PLACEMENT OF NEW STRUCTURE

PROVIDE TEMPORARY WEATHER PROTECTION TO PREVENT WATER LEAKAGE AND DAMAGE TO EXIST STRUCTURE AND INTERIOR ELEMENTS TO REMAIN

PROTECT SURFACES, MATERIALS AND ITEMS THAT ARE TO REMAIN. PATCH, REPAIR AND/OR REPLACE SURFACES, MATERIALS AND ITEMS DISTURBED BY DEMOLITION AND/OR CONSTRUCTION TO MATCH THE INTENDED NEW CONDITION

NOTIFY ARCHITECT IMMEDIATELY OF DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS FOR RESOLUTION, PRIOR TO PROCEEDING W/ THE WORK

**DEMOLITION NOTES**

- A DEMO EXIST PORCH ROOF, COLUMN & ALL ASSOC ITEMS COMPLETE SALVAGE GABLE RAKE TRUSS FOR RE-USE
- B DEMO EXIST WOOD RAMP AND ALL ASSOC ITEMS COMPLETE & PREP FOR NEW CONFIGURATION
- C DEMO EXIST WOOD DECK COMPLETE OVER EXIST BASEMENT
- D DEMO EXIST CONC WALK COMPLETE AS REQ'D FOR NEW CONFIGURATION
- E SAW CUT AND REMOVE PORTION OF EXIST ASPHALT
- F DEMO EXIST PORCH, STEPS, COLUMNS, ROOF AND ALL ASSOC ITEMS COMPLETE TO ALLOW FOR NEW CONFIGURATION
- G EXIST WINDOWS TO REMAIN, TYP **ADD ALTERNATE #1**
- H EXIST RETAINING WALL
- I EXIST STAIRS TO BASEMENT
- J REMOVE EXIST DOOR, HARDWARE, ETC. AND PREP FOR NEW DOOR AND HARDWARE
- K MOVE EXIST DRAIN TILE AT SOUTHWEST CORNER OF EXIST BUILDING OUT FROM BUILDING TO OUTER EDGE OF NEW PORCH ON THE SOUTH SIDE IN LINE W/ A NEW DOWNSPOUT IN LINE W/ THE SOUTHWEST PORCH POST

**1 DEMO / EXISTING FIRST FLOOR PLAN**  
A.101 SCALE: 1/4" = 1'-0"

Historic Exterior Restoration + Entrance Improvements to  
**Wales Township Hall**  
1372 Wales Center Rd, Wales Township, MI

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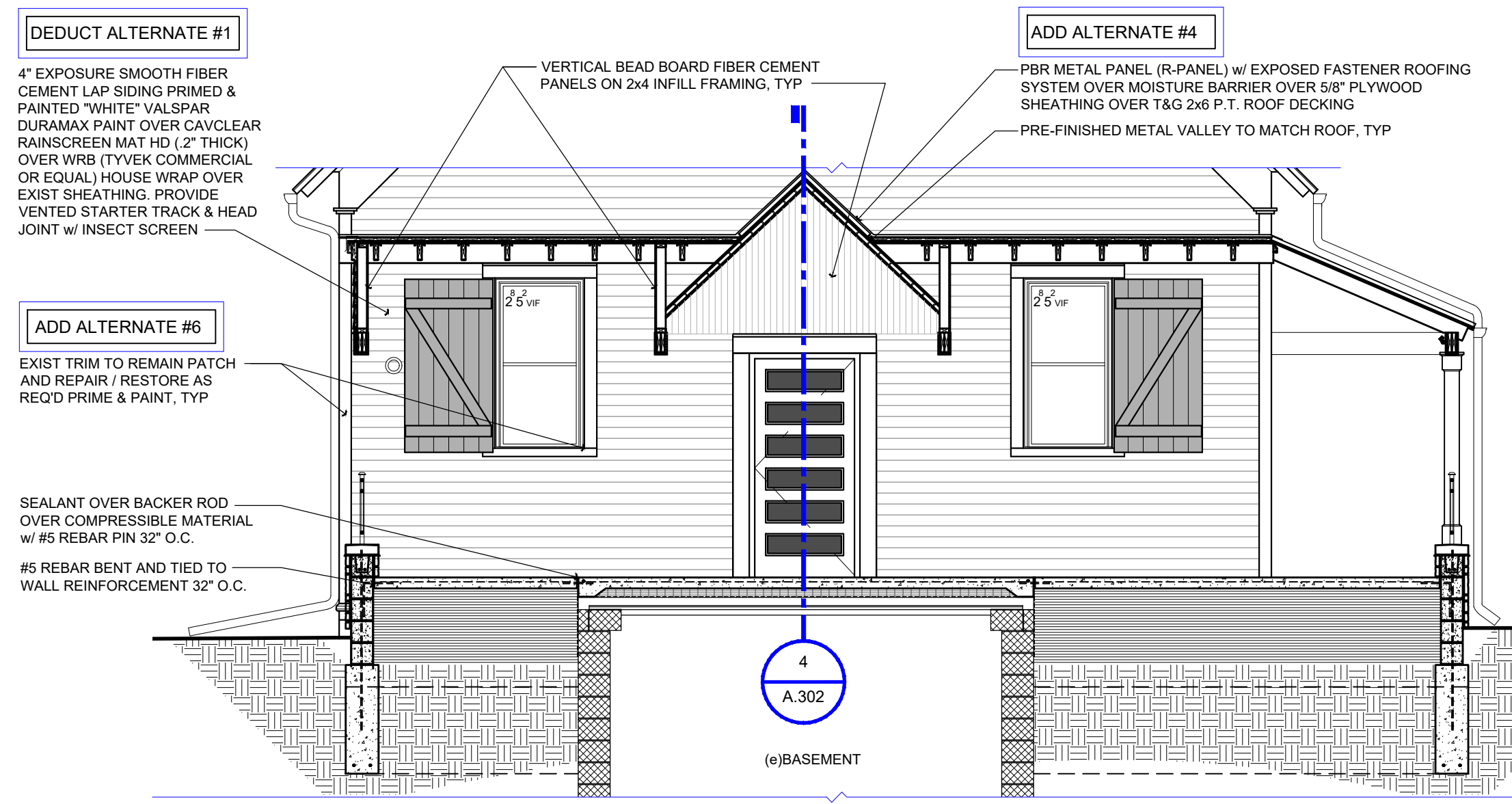
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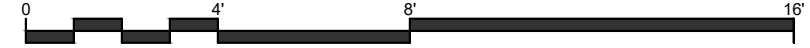
**ISSUE / REVISION DATE**  
Demo/Existing & Proposed  
First Floor Plan



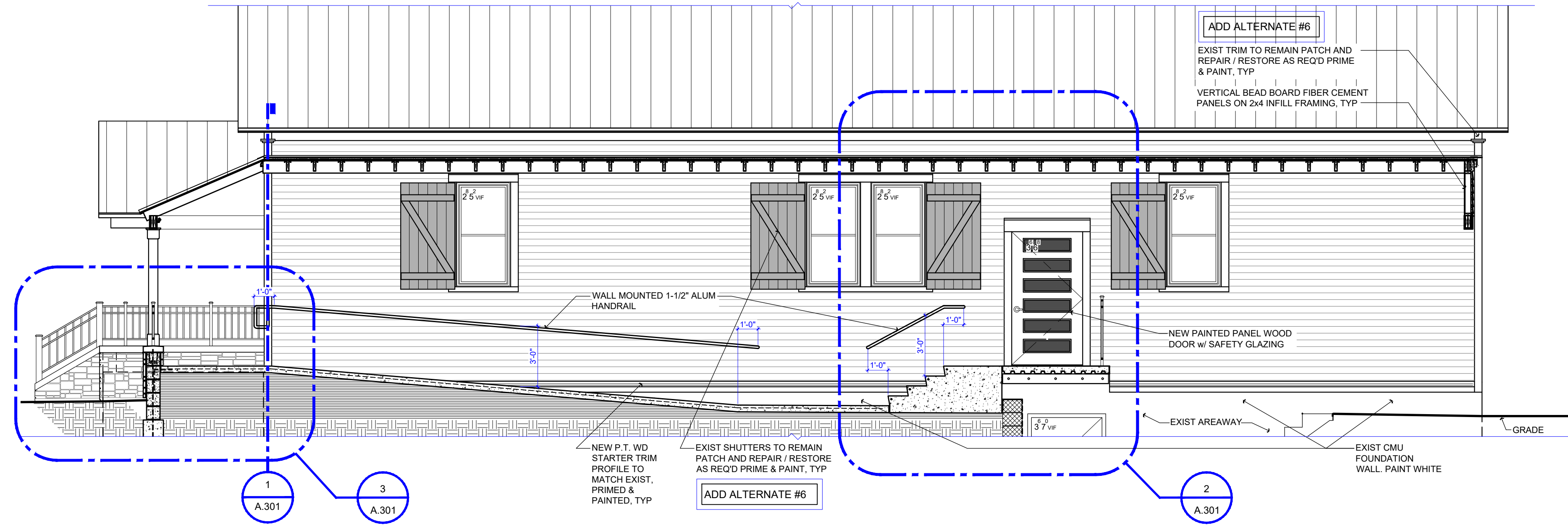


**4 PARTIAL PORCH ELEVATION (EAST)**

A.201 SCALE: 1/4" = 1'-0"

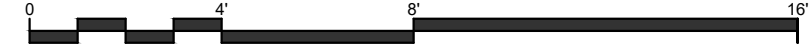


REFER TO DETAIL 4 SHEET A.302 FOR NOTES IN REFERENCE TO NEW PORCH SLAB OVER EXISTING BASEMENT.

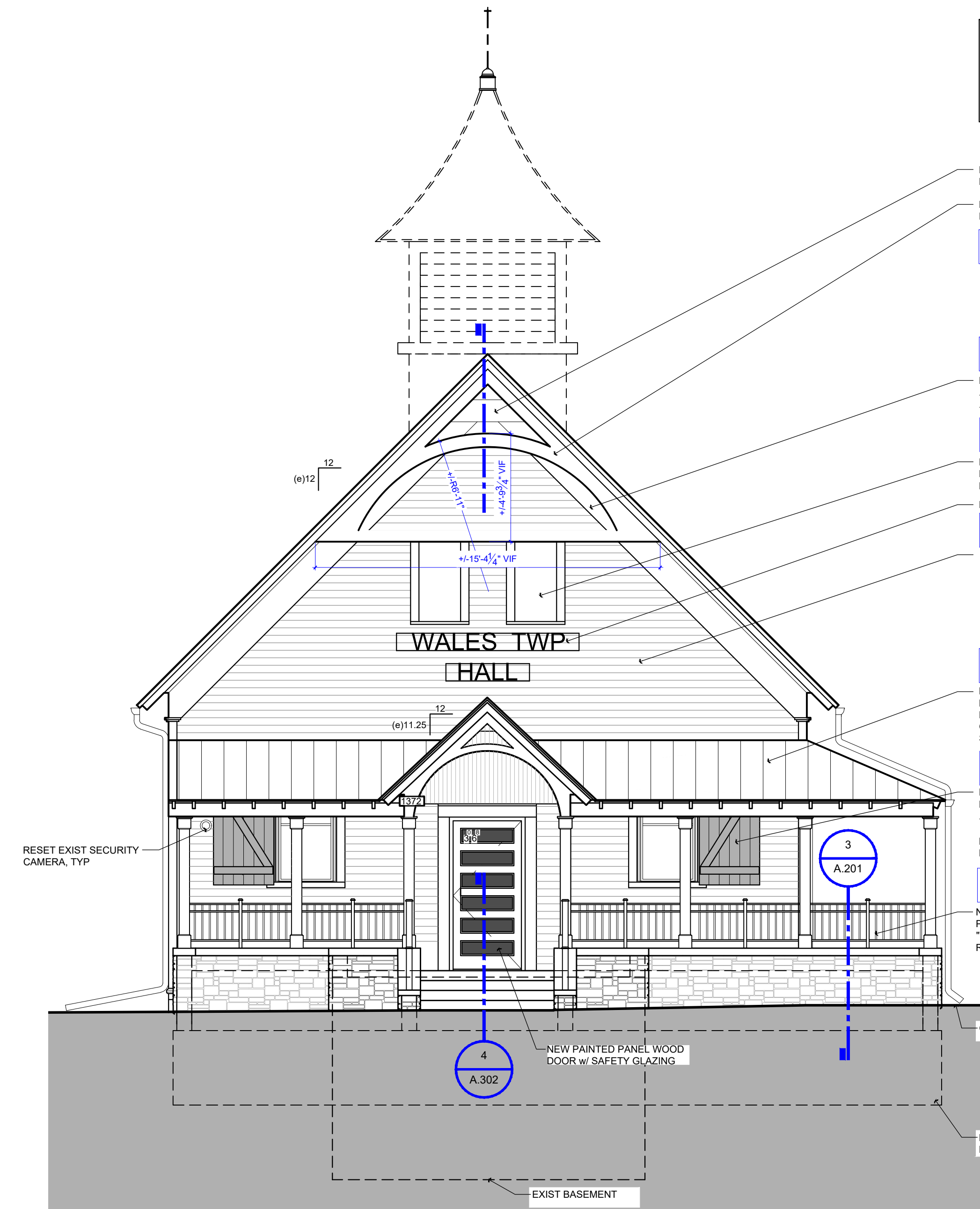


**3 PARTIAL PORCH ELEVATION (SOUTH)**

A.201 SCALE: 1/4" = 1'-0"

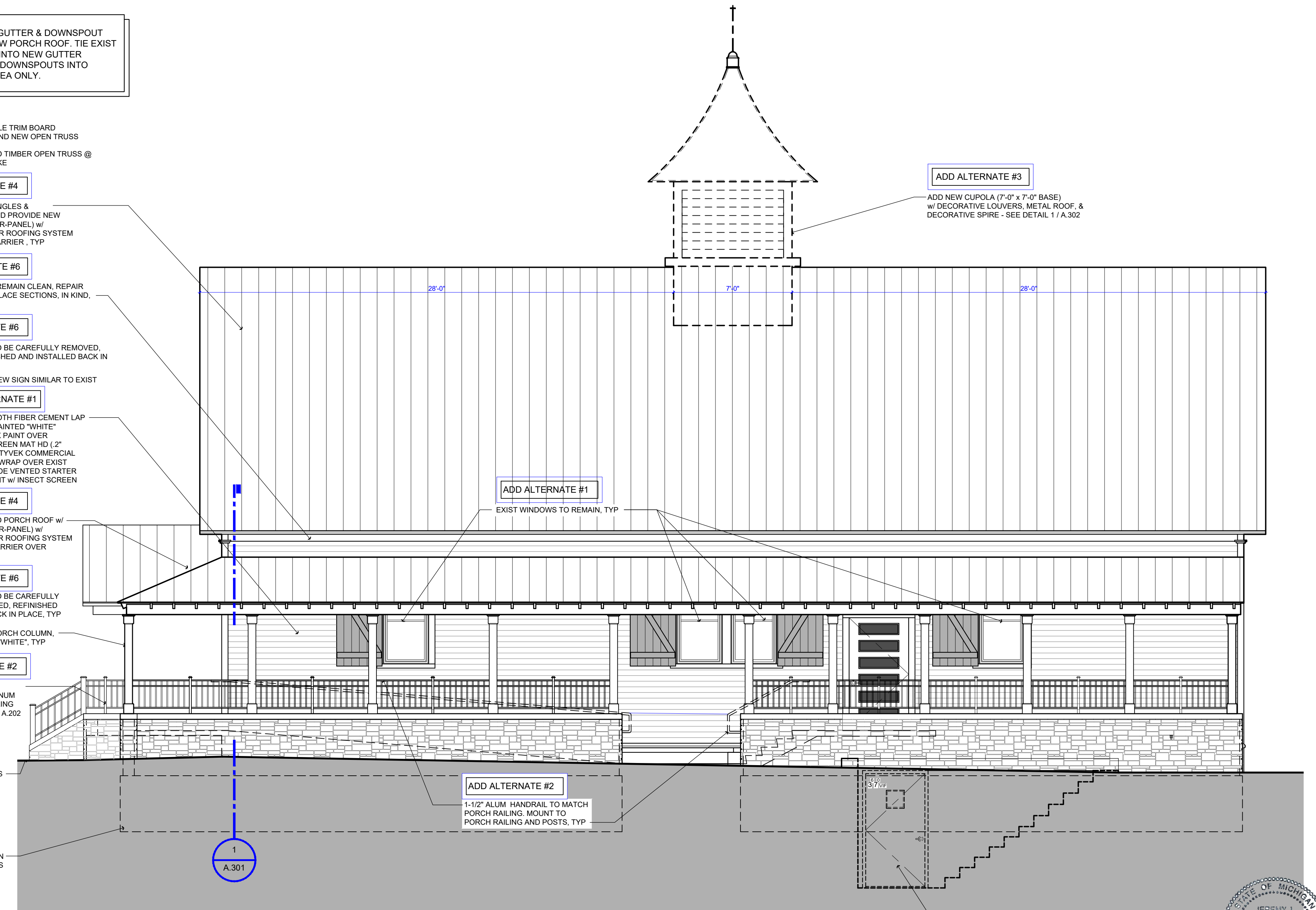


NOTE:  
PROVIDE NEW GUTTER & DOWNSPOUT SYSTEM ON NEW PORCH ROOF. TIE EXIST DOWNSPOUTS INTO NEW GUTTER SYSTEM. SPILL DOWNSPOUTS INTO LANDSCAPE AREA ONLY.



**1 FRONT WALES CENTER ROAD (WEST) ELEVATION**

A.201 SCALE: 1/4" = 1'-0"



**2 SIDE (SOUTH) ELEVATION**

A.201 SCALE: 1/4" = 1'-0"



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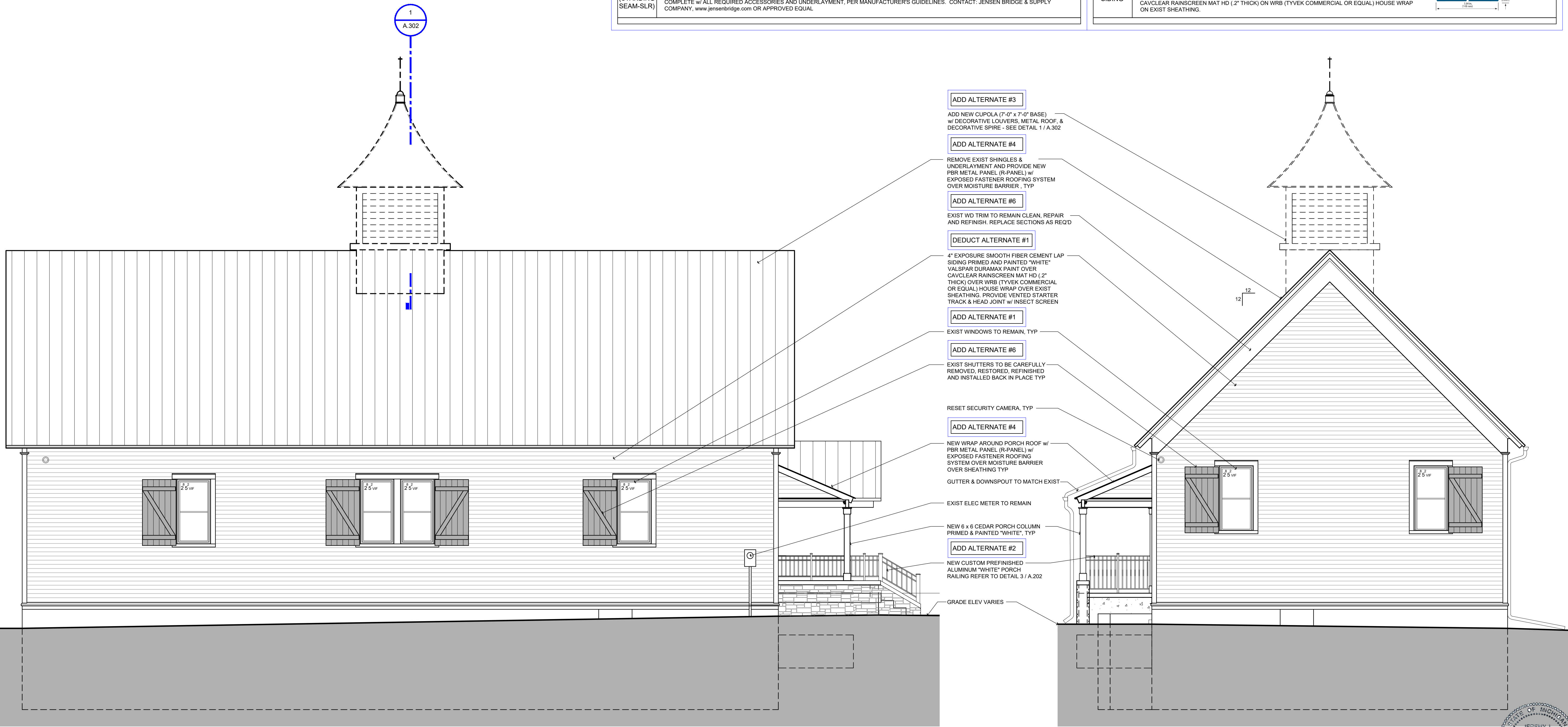
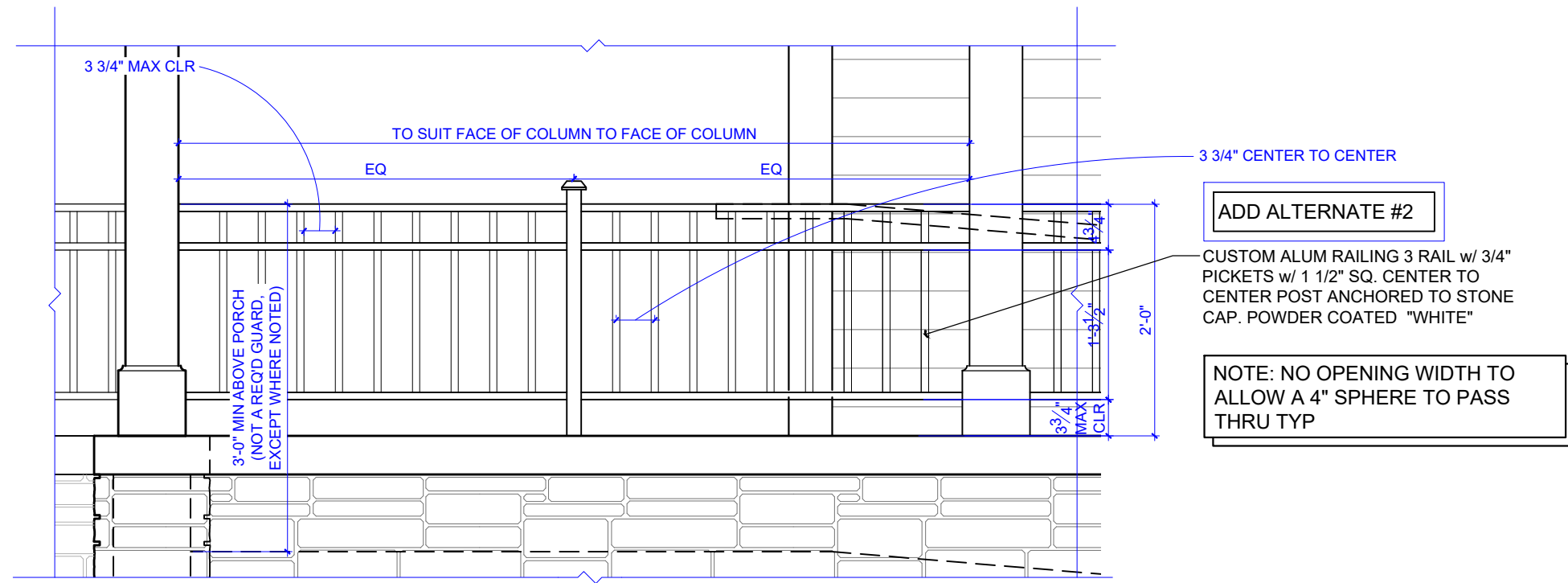
**A.201**





<b>ADD ALTERNATE #5</b>	
ELECTRICAL	PROVIDE AND INSTALL A UTILITY POLE w/ A SECURITY LIGHT TO THE SOUTHEAST CORNER OF THE PARKING LOT AS SHOWN ON SHEET AS-100 (LOCATION TO BE DETERMINED). COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
<b>ADD ALTERNATE #6</b>	
MILLWORK	REMOVE ALL EXIST EXTERIOR TRIM, SHUTTERS, MILLWORK, ETC. AND REPLACE IN KIND w/ NEW SMOOTH TREATED EXTERIOR COMPOSITE BOARD, MIRATEC, OR APPROVED EQUAL, TO MATCH EXIST THICKNESS AND PROFILES. PRIMED AND PAINTED "WHITE" w/ VALSPAR DURAMAX PAINT (OR EQUAL).
<b>DEDUCT ALTERNATE #1</b>	
SIDING	REMOVE EXIST WOOD SIDING AND PROVIDE 4-7/8" EXPOSURE LP SMARTSIDE 38 SERIES SMOOTH TEXTURE LAP SIDING, PRIMED AND PAINTED "WHITE" w/ VALSPAR DURAMAX PAINT (OR EQUAL), OVER CAULKLEAR RAINSCREEN MAT HD (2" THICK) ON WRB (TYVEK COMMERCIAL OR EQUAL) HOUSE WRAP ON EXIST SHEATHING.

<b>ADD ALTERNATE #1</b>	
WINDOWS	REMOVE EXIST WINDOWS AND REPLACE IN KIND WITH NEW PELLA LIFESTYLE SERIES ALUMINUM-CLAD WOOD DOUBLE-HUNG TILT WINDOWS WITH PAINTED PINE INTERIOR, TRADITIONAL WHITE MUTIN GRILL PATTERN (BETWEEN THE GLASS), LOW E / ARCOON. EXIST WINDOW SIZES SHOWN ON PLANS ARE FOR ESTIMATING PURPOSES ONLY. ALL NEW WINDOW SIZES TO BE FIELD MEASURED BY WINDOW MANUFACTURER / INSTALLER AS REQUIRED.
<b>ADD ALTERNATE #2</b>	
RAILINGS	9900 SERIES RAILING, COLOR: WHITE (STYLE D) FOR BUILDING AND SIDE TOP RAILS. FEATURES 2 1/2" SQUARE POSTS, 1 1/2" x 3/4" PICKETS, AND 905 TOP RAIL (2" W x 1 5/8" H). CONTACT: SUPERIOR ALUMINUM RAILING, superioraluminum.com
<b>ADD ALTERNATE #3</b>	
CUPOLA	ADD NEW CUPOLA (7'-0" x 7'-0" BASE) w/ DECORATIVE LOUVERS, METAL ROOF, & DECORATIVE SPIRE - SEE DETAIL 1 / A.302
<b>ADD ALTERNATE #4</b>	
ROOFING (STANDING SEAM-SLR)	REMOVE EXIST SHINGLES AT MAIN BUILDING ROOF AND PROVIDE NEW STANDING SEAM METAL PANEL INSTALL (SLR-PANEL 12" FLAT PAN, COLOR: LIGHT GRAY) w/ CONCEALED FASTENER ROOFING SYSTEM OVER MOISTURE BARRIER OVER SHEATHING AT ALL ROOF AREAS. INSTALL ROOFING SYSTEM COMPLETE w/ ALL REQUIRED ACCESSORIES AND UNDERLAYMENT, PER MANUFACTURER'S GUIDELINES. CONTACT: JENSEN BRIDGE & SUPPLY COMPANY, www.jensenbridge.com OR APPROVED EQUAL



**1 SIDE (NORTH) ELEVATION**  
A.202 SCALE: 1/4" = 1'-0"

**2 BACK (EAST) ELEVATION**  
A.202 SCALE: 1/4" = 1'-0"

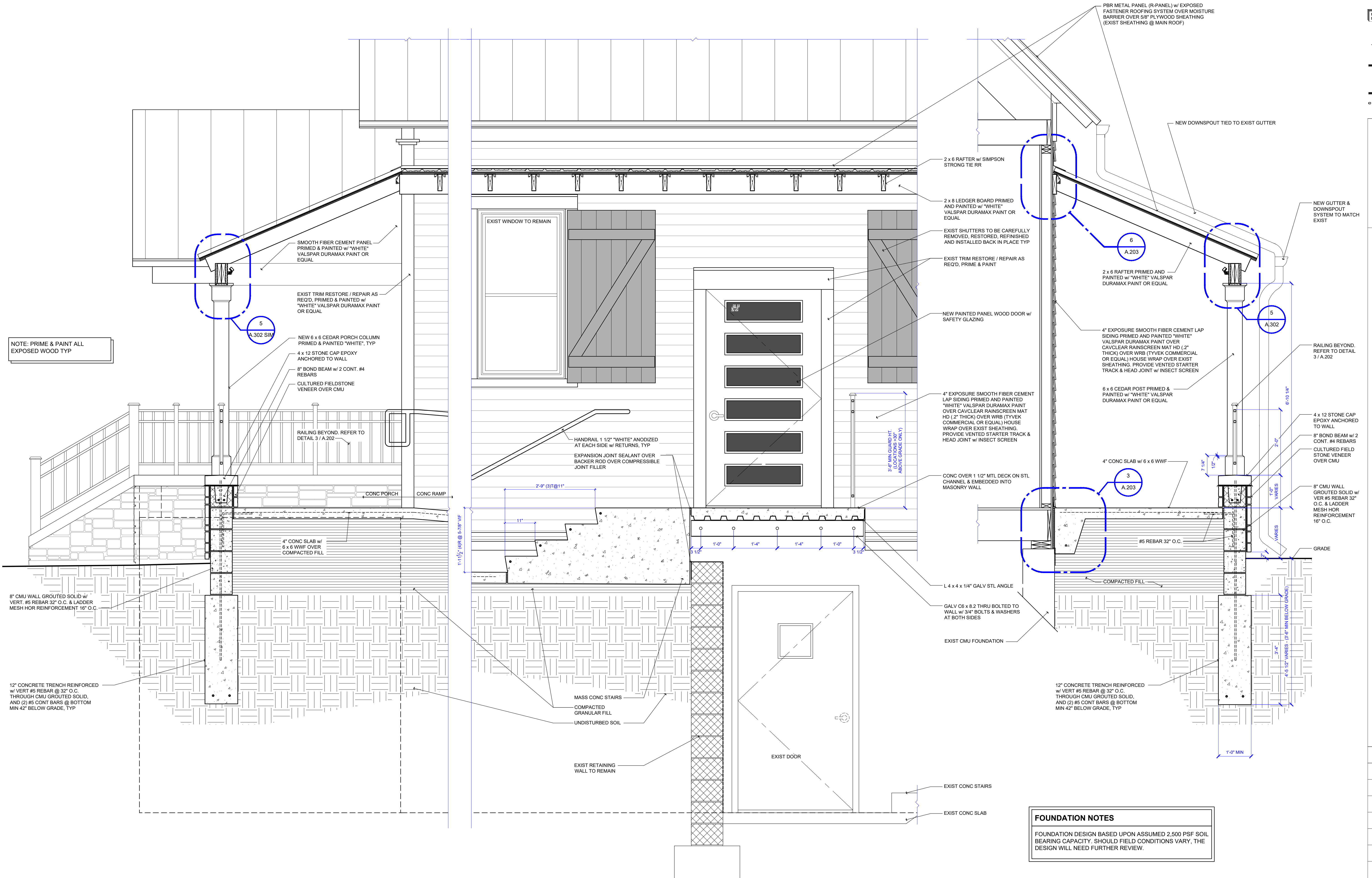
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Proposed Exterior  
Elevations &  
Building Sections

**A.301**



**3 SIDE (SOUTH) ELEVATION DETAIL**  
SCALE: 3/4" = 1'-0"

**2 SIDE (SOUTH) ELEVATION DETAIL**  
SCALE: 3/4" = 1'-0"

**1 BUILDING SECTION**  
SCALE: 3/4" = 1'-0"

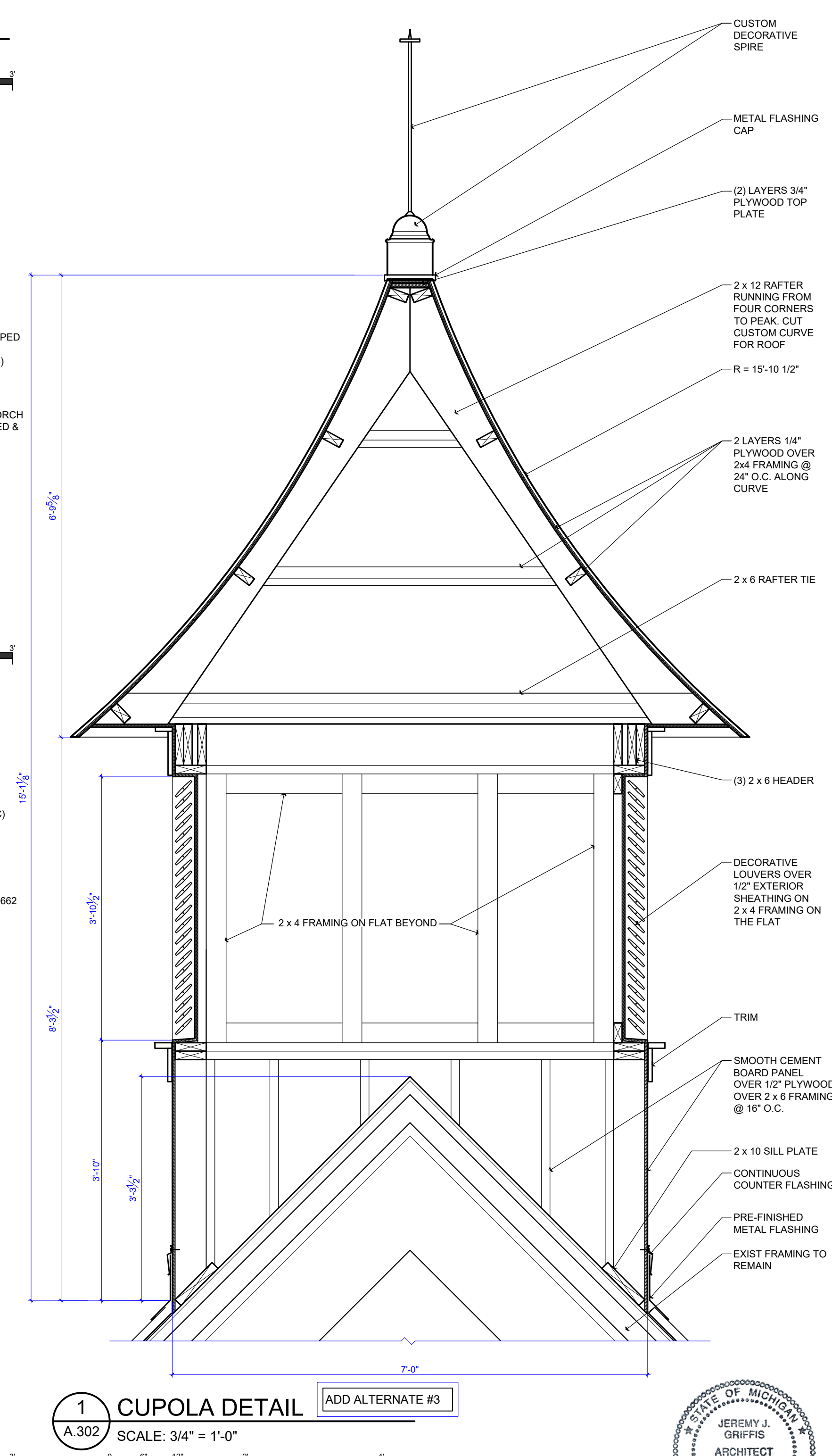
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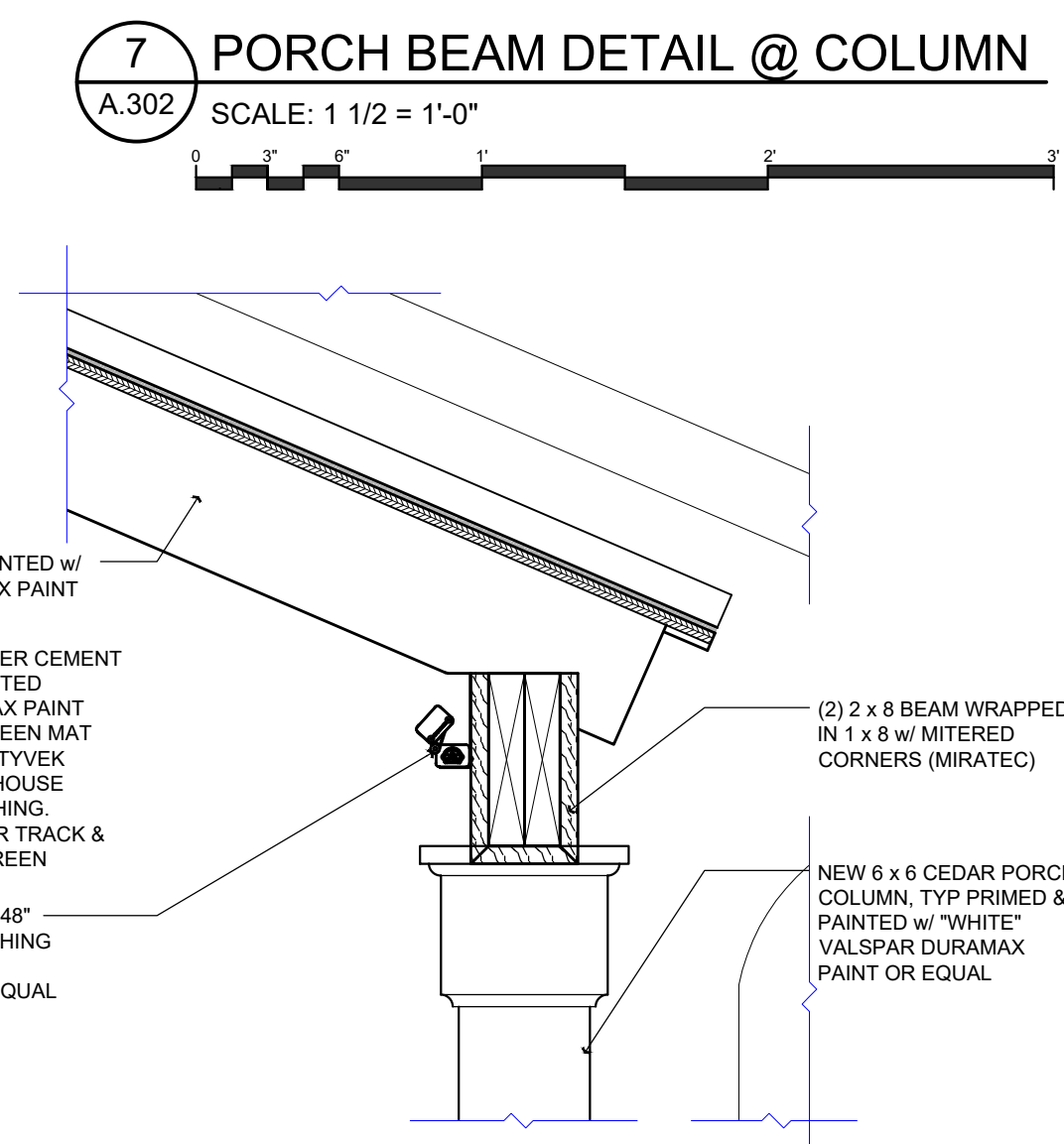
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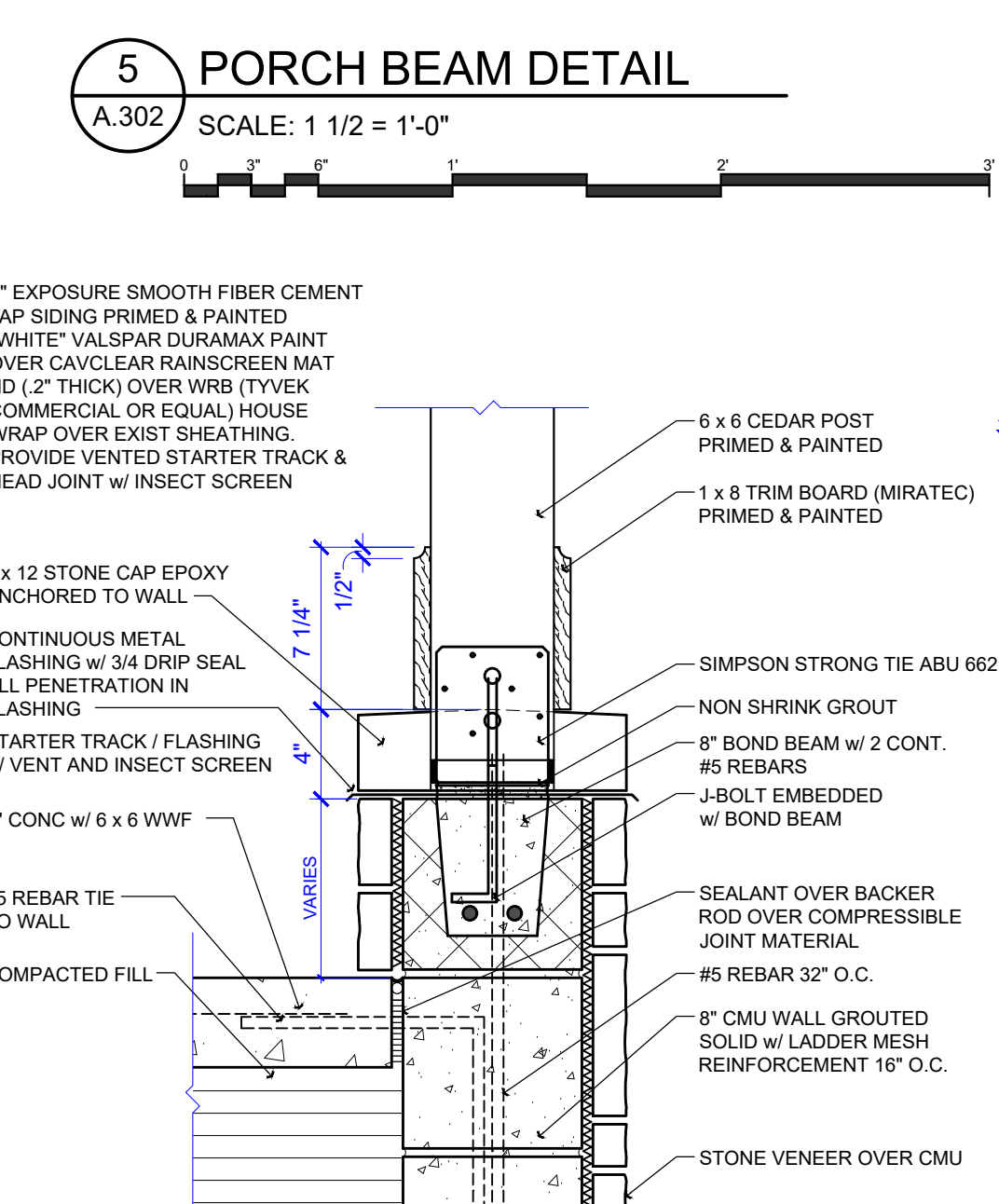
**A.302**



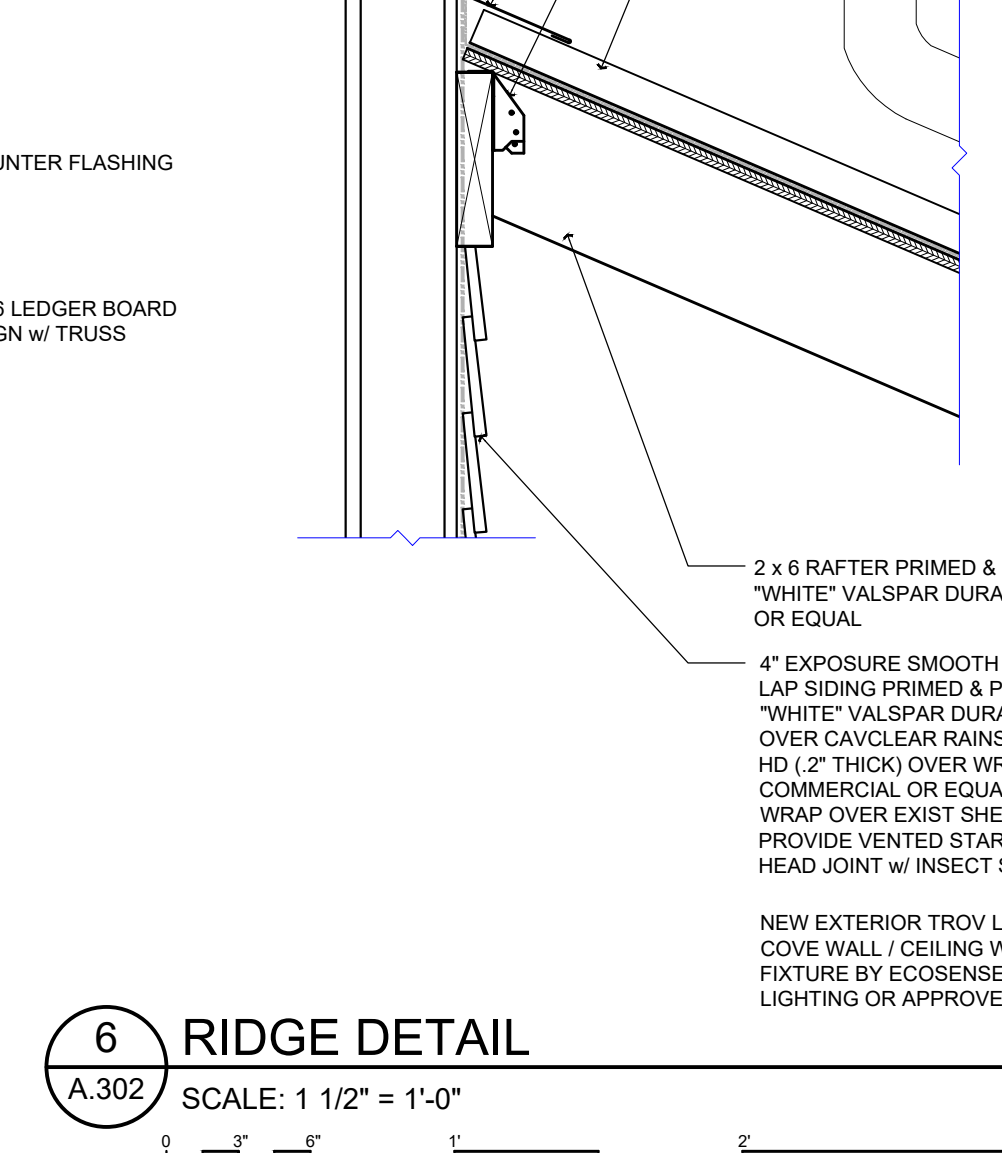
**1 CUPOLA DETAIL**  
A.302 SCALE: 3/4" = 1'-0"  
ADD ALTERNATE #3



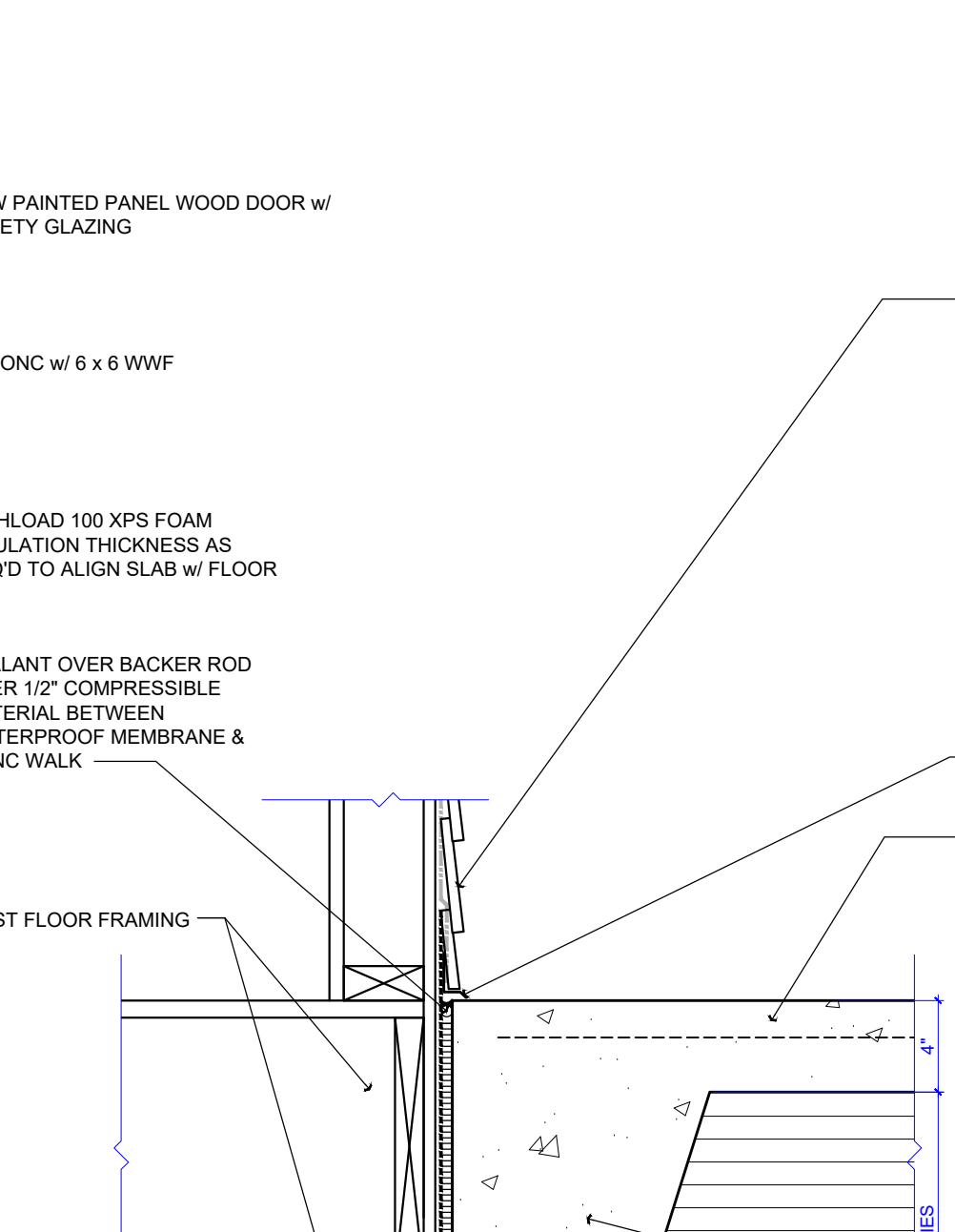
**7 PORCH BEAM DETAIL @ COLUMN**  
A.302 SCALE: 1 1/2" = 1'-0"



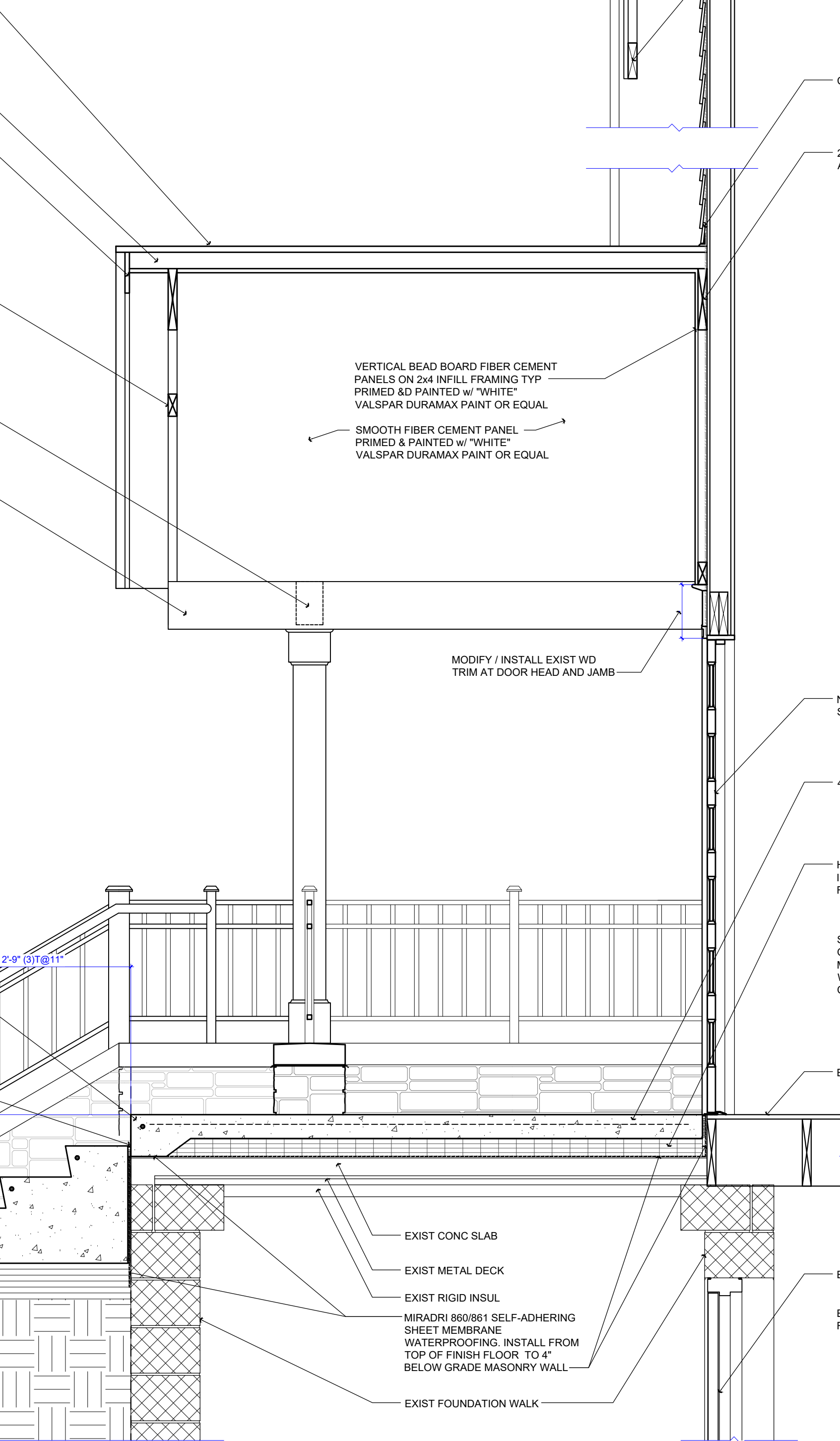
**2 COLUMN BASE DETAIL**  
A.302 SCALE: 1 1/2" = 1'-0"



**6 RIDGE DETAIL**  
A.302 SCALE: 1 1/2" = 1'-0"



**3 SLAB EDGE DETAIL**  
A.302 SCALE: 1 1/2" = 1'-0"



**4 FRONT STEPS PARTIAL SECTION**  
A.302 SCALE: 3/4" = 1'-0"



**4 FRONT STEPS PARTIAL SECTION**  
A.302 SCALE: 3/4" = 1'-0"



**4 FRONT STEPS PARTIAL SECTION**  
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